

**CABIN BRANCH
HOMEOWNERS
ASSOCIATION, INC.**

**COMMUNITY STANDARDS AND
GUIDELINES**

A GUIDE FOR
CABIN BRANCH HOMEOWNERS

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SECTION I

INTRODUCTION

These Community Standards and Guidelines (heretofore referred to as "Guidelines") were created to help acquaint the residents of the Cabin Branch Community with the design standards and application process that is in place to maintain the aesthetic appearance and environmental quality of the Cabin Branch neighborhood.

The Guidelines contained herein, as amended or supplemented from time to time, apply to the design and alteration of all single-family and town homes and other private buildings as well as landscapes. Public and civic buildings may be exempted from the provisions of the Guidelines; their design must be approved in collaboration with the Design Review Committee ("DRC"). The Guidelines may contain general provisions applicable to all of the Community, as well as specific provisions which vary from one portion of the community to another, depending on location, type of construction or use, and unique characteristics of the property.

Variances to the Guidelines may be granted based on extenuating circumstances, peculiar site constraints, hardship, or architectural merit as determined by the DRC.

All improvements shall be in accordance with these Guidelines and local laws and regulations. Approvals granted by the DRC shall not eliminate the necessity for an applicant to obtain all necessary governmental approvals and permits. Unless otherwise defined in these Guidelines, capitalized terms used herein shall have the meaning set forth in the Cabin Branch Declaration.

These guidelines serve as the official reference source for Cabin Branch's neighborhood and were created to assist homeowners in completing applications for the DRC to review. They are intended to supplement legal documents (Cabin Branch's Bylaws, Declaration, etc.). If a conflict should occur between the Guidelines and legal documents, the legal documents will prevail.

Homeowners should familiarize themselves with these Guidelines. Each homeowner is issued a copy of the Guidelines by the prior homeowner or by the Cabin Branch Homeowners Association (the "Association"). A copy of the Guidelines, as well as the most current DRC applications, can be obtained from the Association website. Documents are provided in PDF format. The Homeowners submitting applications or residents that have specific questions are encouraged to contact the Association management company.

SECTION II

PURPOSE

The primary purpose of the Guidelines is to maintain consistent environmental and architectural design standards for the entire Community. The criteria for the Guidelines are based on the following elements:

- Visual and aesthetic appearance
- Safety of the homeowner and other residents
- Ecological environmental impact
- Potential impact on the property values

This document is intended to establish minimum standards for the appearance of homes and property within Cabin Branch. It is also intended to provide guidance regarding exterior modifications to make the approval process easy to follow. This document is not intended to restrict each homeowner's ability to make their home unique or personal. The DRC is open to changes that fall outside the scope of this document, provided that the proposed modification maintains the overall design concept of the community.

SECTION III

ROLE OF THE DESIGN REVIEW COMMITTEE

The primary role of the Design Review Committee is to interpret and apply the Guidelines; encourage architectural harmony; and ensure that all property owners adhere to the Guidelines. The DRC shall coordinate review with the Town Architect to ensure adherence to the Design Guidelines. No structure or improvement shall be erected or altered until approvals described in this document have been obtained from the DRC.

Scope of Responsibility

It is the responsibility of the DRC to:

- Review all architectural change applications of property owners' improvements for compatibility with the standards and guidelines, and to approve or disapprove requests accordingly. Compatibility is defined as similarity in architectural style; quality of workmanship; and similar use of materials, color and construction details.
- Review all property owners' improvements, including alterations and modifications to structures (after initial construction is complete), limited to improvements visible from street or neighboring residences, and including, but not limited to walls, painting, renovations and landscaping. Approval by the DRC does not relieve an owner of the obligations to obtain government approval(s).
- Conduct periodic observations and/or inspections to verify compliance of the improvements with the approved applications. To ensure compliance, the DRC is empowered to notify homeowners of violations of the Guidelines and to refer such violations to the Covenants Committee or, in its absence, the Board of Directors for enforcement of the Guidelines, including an action in a court of law.
- Review all alleged violations of the Guidelines identified by the Community Property Manager during the annual community maintenance inspection prior to sending violation letters to homeowners. The DRC at its discretion, may amend an apparent violation of the standards and guidelines.
- Ensure homeowners are notified of any violations in a timely manner, and ensure that they are removed or modified to bring them up to standards.
- Ensure that all violations are provided to the Covenants Committee for appropriate enforcement action. (see Section V, "Enforcement Procedures")
- Conduct a periodic review of the Guidelines and, if necessary, make appropriate changes to provide clarification or to reflect changed conditions or technology. The review process shall be conducted during an open work session(s) with proper notification given to community residents, so that they are given ample opportunity to provide feedback on the current or proposed changes. Upon completion of the review process, recommendations for revisions will be sent to the Board of Directors for final review and approval.

Limitations of Responsibilities

The primary goal of the DRC is to review applications and determine if the proposed improvement(s) conform to the Guidelines. The DRC does not assume responsibility for any construction, including but not limited to the following:

- Structural adequacy, capacity, or safety features.
- Incompatible or unstable soil conditions, soil erosion, etc.

- Compliance with any and all building codes, safety requirements, and governmental laws, regulations, or ordinances.
- Performance or quality of work of any contractor.
- Determination of property lines and exterior improvements adjacent to the property lines.

Organization

DRC Membership:

- Members of the DRC must be homeowners appointed by the Board of Directors
- Total membership shall not be less than three (3) and shall not exceed seven (7).
- A member of the Board of Directors shall be appointed as a liaison to the DRC in order to assist the DRC members and to provide updates on DRC activities, if necessary.
- A member of the Committee will be deemed to be automatically removed from the Committee if, at any time, the member's assessments remain unpaid for a period exceeding thirty (30) days.
- A member of the Committee will be deemed to be automatically removed from the committee for failure to attend three (3) consecutive committee meetings or failure to attend eight (8) committee meetings during any twelve (12) month period.

Chairperson:

- The Chairperson must be a member of the Committee and shall be selected by the Committee, and approved by the Board of Directors to serve a one-year term. The Chairperson may be removed from the Chair by the Board prior the expiration of the term in its discretion and shall be automatically removed if the Chairperson no longer serves on the Committee. Additional terms as Chairperson are at the discretion of the Committee and approval of the Board of Directors.

Functions of the Chairperson include:

- Coordinate and supervise the committee activities and meetings to assure that committee responsibilities are met.
- Encourage and support participation by all committee members, and ensure that such persons are kept advised of committee activities.
- Ensure that written committee minutes are prepared and submitted to the community association manager, on behalf of the Board, no later than the 15th of each month, after they have been approved by the DRC.
- Written DRC minutes shall identify all members attending the meeting; the date, time, and a place of the monthly meeting; a summary of DRC votes, motions, and decisions; and any recommendation(s) for specific Board action.
- Attend Board meetings in an advisory capacity concerning DRC proposed motions.
- Attend monthly Board meetings and provide highlights of DRC activities, as appropriate. The Chairperson may, if otherwise unavailable, appoint another member of the DRC to attend the Board meeting.
- A DRC member may not sign off or vote on their own architectural change application(s) or any application(s) for other residents to which they are the contractor doing the work. These members must abstain from voting on the application(s) and this must be reflected in the meeting minutes.

Meetings

- The DRC shall meet monthly.
- All meetings shall be open to attendance by members of the Community; non-committee members may participate at the discretion of the Chairperson, but may not vote.
- A majority of appointed members must be present at a DRC meeting for a quorum to be reached and business to be conducted.
- A majority vote of the quorum of the voting members is required to adopt any rules or regulations and to approve, table for further investigation, or disapprove alterations, changes, or additions.

Variances and Exceptions

All requests for variances and exceptions to the Standards and Guidelines are required to contain the same documents and signatures and will be treated the same as all other requests. Any variance and/or exception granted shall be considered unique and will not set a precedent for future variances and exceptions.

Waiver and Additional Requirements

The Guidelines have been adopted to assist property owners and the DRC. However, the DRC has the authority to waive, when appropriate, some or all of the Guidelines for any proposed improvement(s).

Enforcing Powers

Should a violation occur, the Association has the right to such injunctive relief, which may require the owner to stop, remove, and/or alter any improvements in a manner that complies with the Standards and Guidelines and approvals granted by the DRC. (*See Section V. "Enforcement Procedures"*)

SECTION IV

APPLICATION AND REVIEW PROCEDURES

All changes, permanent or temporary, to the exterior appearance of a home or lot are subject to review and approval by the Design Review Committee (DRC). The changes must be approved before work has begun and in accordance with the most recent approved Cabin Branch Homeowners Association Community Standards and Guidelines Handbook. The Handbook is available on the community portal, <https://portal.tmgainc.com>, or from the management office, The Management Group Associates, 20440 Century Boulevard, Suite 100, Germantown, MD 20874, 301-948-6666.

The review process is not limited to major additions or alterations, such as adding a room, deck, or patio. It includes such minor items as changes in color and materials. Approval is also required when an existing item is to be removed.

WHEN NOT CERTAIN WHETHER AN ALTERATION MEETS THE STANDARDS AND GUIDELINES, CLARIFICATION SHOULD BE REQUESTED FROM THE DRC. PLEASE CONTACT THE MANAGEMENT COMPANY

Unless a modification is specifically defined as "NO APPROVAL REQUIRED", the homeowner must submit a written application, along with all other application requirements, to the DRC and receive approval prior to beginning work on ANY exterior addition, change or alteration to their home or lot.

When an application to modify a property is reviewed, the DRC will consider the effect the modification will have on the following four levels:

1. The property (dwelling and grounds).
2. The adjacent properties (next to, behind, across from).
3. The immediate neighborhood (properties on the same street, adjacent streets),
4. The community as a whole.

If, at any level, the modification presents a problem with design compatibility, location and impact, scale, color, workmanship, or timing, it will fail, and the application will be disapproved. A new application may be submitted, along with all application requirements.

APPLICATIONS

- All applications for proposed improvements or changes must be submitted in writing.
- Applications must use the application form authorized by the DRC. A copy of the most current version of this form is available on the community website.
- Complete applications, including all required documentation, must be submitted together in order to commence the review process. Incomplete applications will be returned to the applicant with a statement of deficiencies, which must be remedied in order for the application to be considered for review.
- Prior to submission, the applicant shall give notice to neighbors (adjacent to the property) of additions or changes for which approval is required. Space is provided on the application form for the neighbors to acknowledge that they have been notified. Failure to include appropriate adjacent neighbors' acknowledgement (via signature on the application or some other written acknowledgement) will result in a delay of the DRC's decision on the application by two weeks, pending notification of adjacent neighbor(s).

Supporting Documentation

- The application must include a complete and accurate description of the proposed improvement(s) in order to permit evaluation by the DRC.
- The application must contain a complete Record Plat, Site Plan, or House Location Survey. These are generally included in your Settlement Package or are available through the Montgomery County.
- The application must contain plans and specifications for the project, including, but not limited to, the height, width, length, size, shape, color, materials, type of construction, and location on the plat of the proposed change.
- The application must include details that address any other requirements set forth as "APPROVAL REQUIRED." Photographs or sketches of similar completed projects, catalog illustrations, etc., will aid the prompt consideration of the application. If the alteration affects the existing drainage pattern, the proposed drainage pattern change must be included in the application.
- For more details on the Application Requirements for frequently requested improvements, please refer to Section VIII, "Design Standards and Guidelines."

Note: An application submitted without all required documentation is considered incomplete. In such case, the DRC's review period will not commence until all required documents are provided.

Application Time Frame

- Written applications with supporting documentation must be received by the onsite Community Property manager's office, no later than ten (10) days before a DRC meeting, to be processed at that meeting. Applications received less than ten (10) days before a meeting may not be processed until the next monthly meeting. Meeting schedules are posted on the community website. E-mail applications will not be accepted due to the requirements for neighboring property signatures and supporting attachments.
- The DRC may disapprove an incomplete application. Revised or supplemented applications shall be reviewed in the same fashion as the initial application.
- An application may be withdrawn without prejudice.

Notice of Approval/Disapproval

- The DRC's decision will be sent via the owner portal and U.S. Mail to the address on the completed application within sixty (60) days of its receipt. The notice will consist of a copy of the application with an approval letter, a request for more information or a disapproval letter. It will explain any restrictions on approval or reasons for disapproval of the project.
- No application shall be deemed granted if it is requesting something that is materially inconsistent with these Guidelines.
- If an application is rejected, the DRC will explain in writing why the application was rejected, cite the applicable section in the Design Standards and Guidelines that forms the basis for the decision, and suggest modifications to the application that will allow it to be acceptable, if possible.

Appeals Process

- Applicants affected by a DRC decision may appeal the decision via the following process.
- Step 1: Appeal the decision to the DRC for reconsideration within ten (10) days of the applicant receiving the DRC's decision. The applicant may request reconsideration if they can provide new or additional information that might clarify the request or demonstrate acceptability via a written

letter to the DRC at The Management Group Associates (TMGA), 20440 Century Boulevard, Suite 100, Germantown, MD 20874, or a presentation at the next monthly DRC meeting.

- Step 2: The DRC has thirty (30) days to review the appeal and render a decision. Written notice of the DRC's decision on the appeal will be sent via U.S. Mail to the address on the application within ten (10) days after the meeting it is discussed.
- Step 3: If the DRC reviews an applicant's appeal and upholds its original decision, the applicant may appeal the decision a second and final time to the Board of Directors. The applicant must notify the Board, in writing, of its desire to appeal the DRC's decision within ten (10) days of receiving the DRC's decision.
- Step 4: The Board has thirty (30) days to review the appeal and render a decision. Written notice of the Board's final decision on the appeal will be sent via U.S. Mail to the address on the application within ten (10) days after the meeting at which it is discussed.

CONTACT INFORMATION

Architectural Change Applications should be submitted in writing to:

Design Review Committee
The Cabin Branch HOA
c/o The Management Group Associates (TMGA)
20440 Century Boulevard, Suite 100
Germantown, MD 20874

In addition, questions or comments must be directed to the Design Review Committee, in writing, to the address above.

SECTION V

ENFORCEMENT PROCEDURES

The Governing Documents of the Association empower the Covenants Committee, or in its absence, the Board of Directors, to enforce compliance with the Association's Design Guidelines. The following enforcement procedures will be used to ensure compliance. An alleged violation may be observed and reported by the DRC, the Board of Directors, the Managing Agent or a resident of the Community. In the case of alleged violations (e.g. annual Community Maintenance Inspection, resident email) of the Community Standards and Guidelines, initial steps should be followed to resolve them via "Informal Enforcement," as described below. If Informal Enforcement proves unsuccessful, formal "Enforcement Procedures" shall be

All alleged violations of the Guidelines will be reviewed by the DRC prior to sending violation letters to homeowners. A member of the DRC, as necessary, may confirm alleged violations via a site visit. In addition, the DRC may, at its discretion, amend an alleged violation of the standards and guidelines.

Informal Enforcement

To ensure compliance, the DRC is empowered to use the Informal Enforcement process to notify homeowners of alleged violations of the Guidelines in order to resolve them in a timely manner. The DRC, working with the Managing Agent, will implement the following three (3) step process.

Step 1

The Managing Agent will contact the resident in violation by letter advising them of the violation and requesting appropriate action to remedy it. Notice will be sent by certified mail where violation is deemed to involve an emergency or where such violation, if not remedied, will increase or enhance with the passage of time. The letter will also provide notice that the violation must be remedied within ten (10) days from the date of mailing of the letter (or alternatively, that the resident in violation must submit to the DRC via the Managing Agent, a written plan, including timing, for the abatement of the violation within a reasonable period of time, where such violations cannot be cured within ten (10) day period).

Step 2

If the violation continues for fifteen (15) days after the first notification to the resident in violation (or if no substantial progress is made in curing the violation, where such remedy would require more than fifteen (15) days). A second letter will be sent via certified mail to the resident. The letter will provide notice that the violation must be remedied within fifteen (15) days from the date of mailing of the letter (or alternatively, that the resident must submit to the DRC via the Managing Agent, a written plan, including timing, for the abatement of the violation within a reasonable period of time, where such violations cannot be cured within fifteen (15) day period).

Step 3

If the violation is not successfully abated within fifteen (15) days from the date of the second notice, the Community Manager will provide written notification with supporting documents to the Covenants Committee for action. The Community Manager will also send the residents in violation a letter informing them of this action.

At this point, please refer to the formal "Enforcement Procedures" described in Exhibit B, Cabin Branch Homeowners Association, Inc., "Procedures for Processing Cases of Alleged Violations of the Governing Documents."

SECTION VI

PROPERTY MAINTENANCE STANDARDS

A. General Responsibility

- Each homeowner and resident is required to maintain their property consistent with the Design Standards and Guidelines and in good order and repair.
- Property ownership includes the responsibility for maintenance of all structures and grounds that are part of the property.

B. General Maintenance of Houses and Existing Structures

- Each homeowner must maintain and make necessary repairs to any exterior structure.
- Loose, deteriorating, or missing brick/stone should be replaced.
- Siding should be maintained, including washing off mildew and dirt. Loose, deteriorating, or missing siding should be replaced.
- Property maintenance includes, but is not limited to, grounds maintenance, disposal of trash and debris, proper maintenance of any structures on the lot, driveway, and walkway to ensure aesthetic appeal.
- Mold or mildew should be removed.
- Roofs, gutters, and downspouts should be checked on a regular basis, and gutters and downspouts should be cleaned of leaves and debris as needed. Rotted areas should be replaced.
- Aluminum and vinyl require regular checking to see if the caulking remains watertight. Trim should be covered with paint with no chipped, peeling or exposed areas.

C. General Maintenance of Landscaping and Natural Areas

- All portions of a lot that are not improved by an impervious surface or a structure must be maintained with grass or other vegetation approved by the DRC.
- No bare earth may be exposed on a lot (except for flowerbeds with appropriate approvals).

D. Landscaping including lawn, ornamental shrubs, and trees.

- All turf areas on a lot will be kept neatly mowed and maintained by the HOA. Allowance will be made for prolonged rainy days.
- At no time should weeds cover more than fifty percent (50%) bedding area.
- Areas that become overrun with weeds will be referred to Montgomery County or addressed in accordance with the community's legal documents. Such action may include Cabin Branch Homeowners Association hiring a contractor to remedy the violation at the property owner's expense.
- Trees, shrubs, hedges, and other plants must be trimmed so that they do not pose an obstacle to foot or vehicular traffic, obscure the view from adjacent driveways or sidewalks, overhang the property of another, or cause nuisance and/or damage to adjacent properties. They should be kept in proportion to the lot size.
- All homeowners are responsible for all the trees on their property for preventive maintenance, such as pruning, root removal, and possible entire tree removal if necessary.

- Homeowners must always take into account erosion, drainage onto neighboring properties, or flooding when they make modifications to their yards.
- Dumping of branches, grass clippings, leaves, mulch, or dead plants onto Common Area is prohibited.
- Dead trees, shrubs and other plants must be removed within a reasonable period of time. As a safety measure, the stump must be removed.

Cabin Branch has designated Forest Conservation Areas, including Landscaping, Plantings and Street Trees.

As such, no trees shall be removed from within the Community, except for diseased or dead trees and trees requiring removal for safety reasons. Approval of the DCR is required and in some cases required by Montgomery County.

E. General Maintenance

- Bags of trash should always be kept in closed containers and must be stored out of sight in accordance with the Declaration.
- Trash cans should be at the curb or designated areas on pickup days. Trash and recycle days can be found on the Association web site.
- Construction materials required for the improvement of a home or lot should be neatly stored in as unobtrusive location on the lot as possible when not in use.

F. Maintenance of Yards

- Yards should be cleaned of litter, debris and old newspapers on a regular basis.

SECTION VII

PROPERTY MAINTENANCE GUIDE

The following kinds of maintenance problems may be cited for violation. This list should not be viewed as all-inclusive, nor should it be inferred that all of the items listed below are allowed at Cabin Branch. Please refer to the Guidelines for specifics.

I. Roof Area:

- Missing shingles
- Curling of asphalt shingles and/or extremely bad deterioration
- Gutters or downspouts not secured to house hanging down or missing
- Gutters or downspouts not maintained and painted
- Leaves or debris visibly hanging out over gutter
- Rusted, chipped, or peeling paint on chimney flues
- Skylights rusted, removed and replaced with improper materials (plywood, plastic, etc.)
- Chipped or peeling paint
- Replaced with unapproved style and material

II. House:

A. House Siding and Trim board:

- Board rotted, covered with mold or mildew
- Board with chipped, peeling or lack of paint
- Deteriorating caulking around windows, doors and trim boards

- Loose, deteriorating, or missing siding
 - Loose, deteriorating, or missing trim boards
 - Loose, deteriorating, or missing bricks/stones
- B. Windows:
- Broken or missing panes of glass
 - Torn screens
 - Deteriorating window frames
 - Missing mullions
 - Mold and mildew
 - Persistent condensation between panes of glass
- C. Doors
- Broken or missing panes of glass
 - Persistent condensation between panes of glass
 - Torn screens
 - Loose or not firmly attached doors
 - Original hardware replaced with nonconforming style
 - In need of paint
 - Mold and mildew
- D. Shutters
- Broken or missing slats or panels
 - Hanging or not securely attached
 - In need of paint
 - Original replaced with nonconforming style/size
 - Lacking shutter-dogs
 - Mold and mildew
- E. Window Boxes
- Loose or not properly attached
 - In need of paint
 - Rotted wood requiring repair
 - Mold and mildew
 - Window Guard Rails
 - Rusted, rotted, or otherwise deteriorated unsightly or unsafe
 - In need of paint
 - Mold and mildew
 - Removed without approval
 - Structural defects visible to eye
 - Missing sections or insecure fastening
- F. Hand Rails
- Rusted, rotted, or otherwise deteriorated unsightly or unsafe
 - In need of paint
 - Mold and mildew
 - Removed without approval
 - Structural defects visible to eye
 - Missing sections or insecure fastening
 - Deteriorating and unsightly caulking around windows, doors or baseboards

- III. Pagoda Lights and Exterior Lighting:
 - Broken, rusted, dented, bent out of shape
 - Broken glass
 - Missing or burned out light bulbs for extended period of time
 - In need of paint

- IV. Steps:
 - Loose, cracked or otherwise - unsafe
 - Gaps between house base and steps at ground level (created as house settles)
 - Mold and mildew

- V. Walkways and Patios:
 - Loose or cracked stones or cement
 - Dangerously angled stones
 - Unapproved, unprofessionally done, or unsafely placed timbers, stones, etc.

- VI. Retaining Walls:
 - Loose or cracked wood, stones, or brick
 - Precariously angled walls
 - Rotted wood
 - Unapproved, unsafe, or poorly constructed walls

- VII. Sheds:
 - Rotted structures
 - Holes in siding
 - In need of stain or paint
 - Mold or mildew
 - Unsafe structures

- VIII. Garages:
 - Siding/trim boards rotted
 - Siding/trim boards with mold or mildew
 - Siding/trim boards in need of pain or with chipped or peeling paint
 - Deteriorating and unsightly caulking around windows, doors or baseboards
 - Garage doors in need of paint
 - Garage door missing panels
 - Garage doors dented or bent out of shape

- IX. Attic Vents:
 - Rusted and in need of paint
 - Removed and area filled in with unapproved material

- X. Fences:
 - Broken or falling down
 - Missing sections
 - Replaced but not finished according to guidelines
 - Posts, pickets or rails missing or rotted
 - In need of paint

SECTION VIII

DESIGN STANDARDS AND GUIDELINES

The Board of Directors has adopted the specific Design Standards and Guidelines with the maintenance standards detailed below. Any exterior alteration or addition, except as specifically accepted in these Guidelines, must be approved by the DRC before any work has begun.

**APPROVAL IS REQUIRED FOR
THE REPLACEMENT OF AN EXISTING, PREVIOUSLY APPROVED ITEM WITH THE
SAME COLOR, DESIGN, DIMENSION AND MATERIAL.**

1. ADD-ONS/MODIFICATIONS

Architectural Change Applications for additions or modifications (examples: porches, room additions or expansions) must include detailed information when submitted to the Design Review Committee (DRC) for consideration. Please refer to Appendix I, "Additions/Modifications" for detailed requirements.

2. AIR CONDITIONING UNITS/HEAT PUMPS

GENERAL

When installing or relocating a heat pump or air conditioning unit, please take into account the impact of equipment on adjoining properties. Landscaping screening may be required to reduce visual impact.

PROHIBITED

Window units

APPROVAL REQUIRED

Replacing a unit in a different location other than the original location. Adding an additional unit.

NO APPROVAL NECESSARY

To replace an existing heat pump or air conditioning unit in its original location.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- Exterior units that are rusted.
- Exterior units that are not maintained in working order.

Application Requirements – AIR CONDITIONING UNITS/HEAT PUMPS

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location change.
- Submit drawings with application (they do not need to be professionally done).
- Specification sheet showing the dimensions and appearance of the proposed unit.
- Any additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).

3. ARBORS, GAZEBOS, PERGOLAS & TRELLISES

GENERAL

Arbors: commonly defined as an arch-like open framework made of wood or black metal (aluminum or wrought iron) and sometimes styled with latticework that also serves as a trellis on which climbing plants/vines can grow.

Pergolas: more elaborate forms of an arbor, usually larger & rectangular-shaped, and built with ornate pillars/columns that support cross beams and/or a sturdy lattice top section (with or without vine or fabric coverings). Pergolas may also be part of the house, used as protection for an open patio/deck/terrace.

Trellises: lattice-like flat structures, usually made from interwoven pieces of wood or black metal (aluminum or wrought iron), that are often made to support a climbing plant/vine. Trellises are often used as a stand-alone garden wall structure but are also sometimes mixed into the design of an arbor/pergola.

Gazebos: a pavilion-like structure, often octagonal in shape, free-standing or attached to a garden wall, roofed and open on all sides; for the purpose of providing shade or a basic shelter/sitting area. Gazebos are typically built of wood and covered with standard roofing materials, such as shingles. Gazebos, especially temporary ones, can also be tent-style structures of poles covered by tensioned fabric.

These structures must be adequately anchored to the ground (or other stationary fixed object; cement footings are ideal) in such a manner to withstand windstorms.

A variety of materials may be used for arbors, gazebos, pergolas, and trellis. These include wood, composite wood simulation or black metal (aluminum or wrought iron). Color shall be compatible with the color scheme of the house/deck/fence. If fabric materials are incorporated, they should also conform to the color scheme.

PROHIBITED

Arbors, gazebos or pergolas in the front yard, due to the relatively small front yard spaces of Cabin Branch.

APPROVAL REQUIRED

Permanent Deck Trellis/Gazebos/Pergolas

- Approval will be based upon impact to exterior appearance and/or the adverse visual impact to adjoining neighbors.

Temporary structures that the homeowner intends to remain up for longer than the seasonal period for which they are designed.

Gazebos of all sizes and styles.

Size requirements (larger sizes may be considered with justification)

- Trellises – should not exceed 9 feet in height.
- Arbors – shall not exceed 9 feet height, 4 feet length, and 4 feet width.
- Pergolas integral with a deck or patio shall not exceed 9 feet in height and the dimensions of the deck or patio.

NO APPROVAL NECESSARY

Temporary "structures" such as canopies, umbrellas, or other outdoor fixtures that are adequately anchored are permitted without prior approval so long as they're used during the seasonal period for which they are designed (e.g., summer canopies). This provision applies to backyard use only.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

In need of paint (e.g. fading).

- Poor repair (e.g. chipped/peeling paint, weather beaten).

- Broken or missing pieces.
- Rotting wood.

Application Requirements – ARBORS, GAZEBOS, PERGOLAS & TRELLISES

- Submit completed Architectural Change Form, available from the Association website and/or community management company
- Copy of plat showing location of proposed arbor, gazebo, pergola or trellis on site with dimensions
- Scaled drawing showing plan elevations, and dimensions, including length, width and height (they do not need to be professionally done)
- Materials
- Color/Finish
- Any additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).

4. ANTENNAS/SATELLITE DISHES/CABLE TV WIRES

Satellite dishes which are larger than one meter in diameter are prohibited.

Satellite dishes which are one meter in diameter or less, television antennas and MMDS (multichannel, multipoint distribution) antennas are permitted subject to the Rules for Installation of Antennas attached hereto as Appendix II (The Antenna Rules). A completed application (Notice of Intent to Install Antenna) for such devices must be filed with the DRC prior to installation.

5. ATTIC VENTILATORS & TURBINES

PROHIBITED

Vents located on the front of the house.

APPROVAL REQUIRED

To install a vent.

To replace a vent in a different location, or of a different size, color or design than the original.

To remove a vent.

NO APPROVAL REQUIRED

To replace a vent in the same location and of the same size, color and design as the original.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- Rusted and/or in need of paint.
- Missing parts.

Application Requirements - ATTIC VENTILATORS & TURBINES

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing location of awning.
- Any additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).

6. AWNINGS

GENERAL

Awnings must be of retractable design and limited to the rear of a home only. The fabric/material should be dark green in color or should match the color of the house siding or trim. The size of an awning should not exceed that required to cover the deck or formal patio area (larger sizes will be considered as noted below).

Improper installation, lack of ongoing maintenance or improper use of the awning will result in enforcement action and could result in the Board of Directors requiring the removal of the awning.

PROHIBITED

An awning that would have a negative impact on the adjoining properties due to the high density of the community.

One which consumes a majority of the yard. One consistently left open when not in use. Awnings located on the front of the house.

APPROVAL REQUIRED

All awnings require approval. Since awnings may have an effect on neighboring sightlines, the overall size must be proportionate to the home as determined by the DRC in consultation with all involved parties.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- Ripped or faded fabric.
- Broken framework.

Application Requirements – AWNINGS

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing location of awning
- Scaled drawing showing plan elevation, and dimensions including length width and height (they do not need to be professionally done).

7. BASKETBALL HOOPS

GENERAL

Basketball hoops should be placed away from the public realm. The appropriate location for basketball hoops is:

- The basketball hoop must be attached to the garage or permanently installed on the owner's property, in or adjacent to, the owner's driveway.
- The specific location of the basketball hoop must not infringe upon the neighbor's enjoyment of their property.

Backboards must be clear or "smoke" (tinted gray) acrylic.

PROHIBITED

Portable basketball set-ups.

Installation in utility easement or right of way.

Installation of additional exterior lighting mounted on basketball hoop.

APPROVAL REQUIRED

All basketball hoops require approval.

MAINTENANCE

- Broken or damaged backboard.
- Rusted and/or in need of paint.

Application Requirements – BASKETBALL HOOPS

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of basketball hoop.
- Photograph or catalog brochure showing style.
- Color/finish of backboard, mounting pole and hardware.
- Dimensions/size.
- Any additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).

Note: If installing a basketball hoop requires relocation of external garage light, please refer to “Exterior Lighting” section of these Guidelines for additional information and application requirements.

8. BOATS/TRAILERS/TRUCKS/RVS/VEHICLE REPAIRS

GENERAL

Boats, buses, trailers, commercial vehicles (including vans used for commercial use and vehicles displaying commercial signage), trucks (as defined by the Maryland Department of Motor Vehicles and/or by common usage, except for light pick-up truck of three quarter (3/4) ton capacity or less used for non-commercial purposes), junk vehicles, unlicensed, unregistered or inoperable motor vehicles (which include, without limitation, any vehicle which would not pass applicable State inspection criteria), campers, RVs, machinery or equipment of any kind of character (except for such equipment and machinery as may be reasonable, customary or usual in connection with the use and maintenance of any dwelling), or any similar items must not be stored on the common areas, parking lots, driveways, or any portion of any lot for any time, other than in garages.

PROHIBITED

Major vehicle renovation or repair on any property within the community is prohibited.

9. CARPETING

GENERAL

Temporary outdoor carpeting is permitted during the spring/summer season for which it is designed.

PROHIBITED

Permanently installed indoor/outdoor carpeting, matting other than doormats and synthetic grass on any exterior surfaces (for example, front steps, decks, patios, etc.)

No APPROVAL NECESSARY

Temporary indoor/outdoor carpeting is permitted without prior approval so long as it is used during the spring/summer season for which it is designed. This provision applies to backyard use on decks or patios and homes with porches only.

10. CHIMNEYS/METAL FLUES

PROHIBITED

Exposed metal flues (chimney stacks) on the exterior walls of any homes. Of a style or size not appropriate for home.

APPROVAL REQUIRED

All chimneys and flues must be approved.

Must be brick or stone to match the house materials. Exception: short side-exiting exhaust flues used for gas fireplaces.

Short side-exiting exhaust flues may not extend past the roofline.

Flues should be installed on the upper 2/3 of the rear roof.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- Chimney flues rusted, chipped or peeling paint
- Loose/missing brick, stone or mortar.

Application Requirements – CHIMNEYS/METAL FLUES

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of Chimney or Metal Flue.
- Color/Finish
- Chimneys
 - Scaled drawing showing front and side elevations and dimensions (length, width, and height)
 - Materials (e.g. brick, stone)
- Any additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).

11. CLOTHESLINES

GENERAL

Clotheslines must be of a retractable design, must be located in the rear yard of the home, and must not extend past the side planes of the house.

Clotheslines must be retracted when not in use.

PROHIBITED

Consistently left open when not in use. Clotheslines located on the front of the house.

APPROVAL REQUIRED

All clotheslines require approval.

MAINTENANCE

Broken/rusted/damaged framework.

Application Requirements – CLOTHESLINES

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of clothesline.
- Any additional information that will assist the Committee in making a judgement on the request.

12. COMPOST BINS

GENERAL

Compost bins must be located in the year and must not protrude past the side of the home. If visible from adjoining properties, compost bins must be screened by a fenced in yard or landscaping.

Compost bins must be self-contained, sturdily constructed of durable wood, plastic, or metal and finished in a dark, muted color or left to weather naturally (if wood)

Compost bins must not exceed 4 feet in height and 4' x 4' in dimension.

APPROVAL REQUIRED

An Approved Application is required for all compost bins.

MAINTENANCE

Compost bins must be regularly maintained so that they do not create a visual or environmental nuisance.

Application Requirements – COMPOST BINS

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of compost bin.
- Any additional information that will assist the Committee in making a judgement on the request.

13. DECKS

The Design Review Committee must approve ALL deck construction, including additions and/or modifications made to existing decks. Deck construction includes modifications made underneath decks (e.g. the installation of screening).

ALL NECESSARY PERMITS, INSPECTIONS, ETC. MUST BE OBTAINED FROM THEMONTGOMERY COUNTY BY THE HOMEOWNER.

GENERAL

Homeowners are advised to consider the following when planning to install a deck:

- Elevated and ground level decks are an extension of the house that can impact its exterior appearance and may affect the privacy of adjoining homes. Drawings submitted with the application do not need to be professionally done, but they must be to scale and show dimensions.
- Any adverse drainage conditions that might result from the construction of a deck must be considered and remedied. Approval will be denied if the DRC believes that adjoining properties are adversely affected by changes in drainage.

PROHIBITED

Decks are prohibited in front or side yards.

Privacy screens or walls appended to elevated decks that are greater than 8 feet in height are prohibited.

APPROVAL REQUIRED

All decks must be approved by the DRC.

The following factors will be considered in the review of applications:

Location:

- Decks must be located within the side planes of the house.
- No deck may intrude in any manner into Common Area.
- Decks should be located in rear yards.
- The privacy of adjacent homes, aesthetics, visibility and other positive/negative features will be considerations in evaluation of the location.

Scale and Style:

- Decks, particularly elevated decks, should be of a scale that is compatible with the home to which attached, adjacent homes and the environmental surroundings. Due to the small size of the rear yards some townhomes may not be acceptable for decks.

Materials:

- Decks and stairs shall be cedar or high quality (No. 2 southern yellow pine or better) pressure-treated wood. Composite wood (Trex® or equivalent) may be used for walking surfaces. Railings may be of wood, composite wood, black metal or vinyl. Chain link is prohibited.

Color/Finish:

- All wood railings and vertical surfaces must be finished with paint or stained in colors compatible with existing trim of the house.
- Metal railings shall be black.
- Deck surfaces may be left unfinished or may be a different color from railing and pickets.

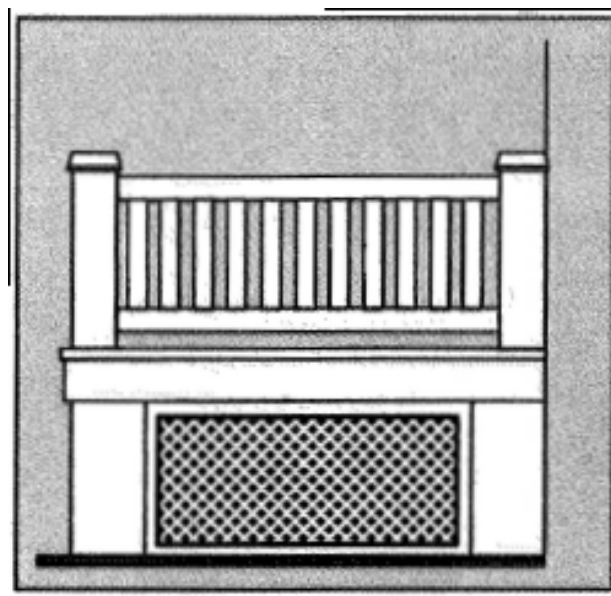
Note: A product, such as Thompsons Water-seal®, does not qualify as a paint or stain of natural wood color for purposes of these guidelines.

Stairs:

- Stairs should not provide direct access to the deck from the front of the home.
- Stairs should not be visible from the front view of the property or street.

Under Deck Screening and Ground Covering:

- The area beneath a deck may be skirted by framed lattice, with maximum of 1-1/2 inches between the boards and placed between (not over) the posts/piers, as shown in the illustration below.
- Lattice and posts must be painted or stained the same color as the deck.
- No lattice framing will be allowed for decks 8 feet and higher (one story in height), or which have walk out basements.
- The area beneath such elevated decks must be maintained so that it does not impact the exterior appearance of the home.
- The construction of patios or landscaping in that space is encouraged.
- On corner lots, posts greater than 5 feet in height shall be wrapped with wood or synthetic wood and trimmed at the top with decorative molding to create the appearance of finished columns, shown in the illustration below, rather than thin unfinished posts.



Landscaping:

- Landscaping around decks, patios, and screened porches is strongly encouraged to soften corners and views from adjacent lots and to offset drainage concerns.

Privacy Screens/Walls:

- Privacy screens or walls appended to ground level decks will be considered on an individual basis.
- Privacy screens or walls appended to elevated decks that are greater than 8 feet in height are prohibited.
- Privacy screens for elevated townhouse decks will be allowed with the following conditions:
 - ✓ Shall be between 60-72 inches in height from floor of the deck.
 - ✓ shall be lattice.
 - ✓ shall be painted/stained to match the deck.
 - ✓ Privacy screens shall not span the width of the deck.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- Unsafe/not structurally sound e.g. rotting wood.
- Poor repair e.g. chipped/peeling paint, weather beaten, covered with mold/mildew.
- Broken or missing pieces of deck surface or railing.
- Under deck area used for storage without adequate screening.
- Missing/aged/inadequate ground cover or natural landscaping material under deck.

Application Requirements – DECK

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of deck on site with dimensions.
- Scaled drawing showing plan (overhead view), elevations, and dimensions including length, width, and height.
- Deck sketch(es) showing footing details, stain details, materials, color/finish.
- Detail sketch(es) of railing design(s) and built-in benches, if any.
- Screening and landscape material.
- Deck railing should be picket design – sunburst and other designs will be considered.
- Submit drawings with application (they do not need to be professionally done).
- Any additional information that will assist the Committee in making a judgement on the request (photographs would be helpful). See Appendix I of these Guidelines.

14. DOG HOUSES AND DOG RUNS

PROHIBITED

Doghouses, kennels, and dog runs are prohibited.

15. DOOR

A. Entry Door

GENERAL

The door style shall be compatible with the color scheme and architecture of the home.

APPROVAL REQUIRED

To change the color, size or style of the home or garage (for detached garages) entry door. To change the color, size or style of the adjacent trim from the original door.

NO APPROVAL REQUIRED

Replacing doors of the same style, material and color as the original door.

MAINTENANCE

- Broken or damaged door, including missing hardware.
- Rusted and/or in need of paint.

Application Requirements – DOOR

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of door.
- Photograph or catalog brochure, showing style.
- Color/finish of door.
- Dimensions/Size.
- Any additional information that will assist the Committee in making a judgement on the request.

B. Garage Door

PROHIBITED

To change a door with one of different dimensions, style, material or color as the original door.

No APPROVAL REQUIRED

Replacing a door with one of the same dimension, style, material and color as the original door.

C. Storm and Screen Door

GENERAL

Only full view clear glass storm doors, are permitted on the front of the house.

Storm doors must match the front door or the trim around the front door or may be white.

Storm doors in the rear of the house must be either full or ¾ view clear glass and must be painted to match the door or the trim around the door or be white.

PROHIBITED

Doors with decorative treatment such as grills.

Unpainted wood or metal doors.

Doors that do not match the color of the front door or trim surrounding the front door.

APPROVAL REQUIRED

ALL STORM DOORS

MAINTENANCE FOR ALL DOORS AND TRIM

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- Broken or missing glass.
- Torn or missing screen.
- Deteriorated door or frame (i.e., dented or bent).
- Loose or not firmly attached door.
- Hardware: original replaced with non-conforming style.
- Chipped, peeling or faded paint.
- Exposed metal or wood.
- Covered in mold or mildew.

Application Requirements – STORM/SCREEN DOOR

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of door.
- Photograph or catalog brochure, showing style.
- Color/Finish of door.
- Dimension/size.
- Any additional information that will assist the Committee in making a judgement on the request.

16. DRIVEWAYS

GENERAL

Driveways should be black asphalt or standard concrete in appearance, as originally provided by the original homebuilder. Upgrade plans should be submitted to the DRC.

APPROVAL REQUIRED

To make any change to an existing driveway.

To extend, widen or re-route an existing driveway. To install edging along driveway.

NO APPROVAL REQUIRED

Driveways replaced with one of the same dimensions, color, design and material. Sealing of driveway with material compatible with your driveway type.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- If sealed- In need of sealing.
- Significant cracking of asphalt or driveway apron.
- Potholes or significant depressions.

Application Requirements – DRIVEWAYS

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of driveway on site.
- Scaled drawing showing dimensions (they do not need to be professionally done).
- Materials, Color and Finish
- Any additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).

17. EXTERIOR DECORATIVE OBJECTS (EDO)

GENERAL

Exterior decorative objects (EDOs) are items that are placed outside of the house and intended to improve the appearance of the property. They are generally small enough that one person can lift them. They may include items such as artificial animal displays or decorative stones.

They do not include objects that are part of the general landscaping of the property, such as stones placed as part of a retaining wall. Planters and porch furniture are not considered EDOs.

Any object that, in the sole judgment of the DRC, does not meet the Design Standards and Guidelines will be subject to enforcement procedures and may result in the Association removing the object at the

homeowners' expense.

PROHIBITED

Any profanity and any racial, offensive, or commercial markings are prohibited at any time and on any part of the property.

The following is prohibited in any location in the front yard and/or a location that can be seen from the street.

- Large EDOs such as birdbaths, bird feeders and windmills in front yard or visible from the front of the home.
- More than two (2) EDO's.
- Any EDO in excess of two feet (2') in height.

APPROVAL REQUIRED

Any EDO that does not meet these Design Standards and Guidelines.

No APPROVAL REQUIRED

Items constructed of natural products (stone, clay, etc.) and meet the Design Standards and Guidelines.

Storage bench/box. A wood, vinyl or other synthetic material storage container or box will be allowed if not higher than 4 feet and not longer than 6' and is placed in the rear yard or under a deck, on a patio or completely screened from view.

Placement as long as it meets the Design Standards and Guidelines.

Seasonal or special event items (for example, plastic deer at Christmas, cardboard storks to announce the birth of a baby) can be displayed without prior approval for thirty (30) days before or thirty (30) days after the event. For election or political signs, refer to the section of this document regarding Signs.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- Not having a neat/clean appearance for the duration of the time that they are placed outside of the home.
- Cracked, torn or otherwise defaced must be immediately removed.

Application Requirements – EXTERIOR DECORATIVE OBJECTS

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of decorative object.
- Photograph or catalog brochure, showing style and size.
- Any additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).

18. EXTERIOR LIGHTING

GENERAL

All exterior lamps (bulbs) must be clear, white bulbs, energy saving fluorescent bulbs or LED bulbs.

Exception: 60-watt bug.

Alleyway Garage light must be operational at all times.

PROHIBITED

Lighting that causes adverse visual impact to neighbors due to location and/or wattage. Exterior lighting directed outside of the applicant's property.

APPROVAL REQUIRED

Replacement of a fixture that is a different style, size, material, color or location of original lighting.
Removal of fixtures without replacement

Addition of new fixtures.

Fixtures on the rear or rear side location of structures will be evaluated for suitability to surrounding location and must avoid the possibility of causing light pollution to neighboring properties or common areas.

No APPROVAL REQUIRED

Replacement of a fixture with the same style, size, material, color and location.

Holiday lights must be taken down within thirty (30) days after the holiday. For more information on holiday lights and seasonal decorations, see the Exterior Decorative Objects section of this document.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- Broken, rusted, dented, bent out of shape.
- Not maintained in working order.
- Broken glass.
- Fixtures themselves in need of paint.
- Loose light fixtures.
- Missing fixtures

Application Requirements – EXTERIOR LIGHTING

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of exterior lighting.
- Photograph or catalog brochure, showing style and size.
- Any additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).

19. EXTERIOR PAINTING

GENERAL

An application is not required in order to repaint or re-stain an exterior feature of a home/garage to match the original color.

PROHIBITED

Any exterior color change without prior DRC approval.

APPROVAL REQUIRED

To change any original or previously DRC approved exterior color of siding, doors, shutters, trim, roofing and other appurtenant structures.

NO APPROVAL REQUIRED

To repaint or re-stain an exterior feature of a home/garage to match the original color.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- Chipped, peeling or faded paint.

- Exposed metal or wood.
- Painted or stained surface covered in mold or mildew.

20. FENCES

GENERAL

Fences, hedges, and walls are intended to provide closure of the private realm by connecting with other fences, hedges, walls or buildings. Fences on frontages of adjacent lots shall be of different designs. See illustration below of approved fence styles.

PROHIBITED

Fence styles other than those illustrated in this section, including chain link and barbed wire fencing.

Fences erected outside of the homeowner's property lines.

Fences that exceed 6' in height in rear yards, and 4' in front yards.

Installation of fences on utility easement or the Association's property.

Privacy screens or walls appended to elevated decks that are greater than 8 feet in height are prohibited.

Installation of fences on a private alley which impedes visibility or sight distance for navigating the private alley or impede snow removal.

APPROVAL REQUIRED

All fences must be approved by the DRC.

The following factors will be considered in the review of applications:

Location:

- Must be on the property line to avoid 'double fencing'
- Must be at least 4 feet in height.

Materials:

- Fences and gates shall be wood, or metal pickets.
- Three rail split style fences will be considered for lots that back up to the woods or other natural areas and must be finished as described below.
- Vinyl will also be considered for a fence material.
- Posts may be of wood, brick or masonry to match the dwelling.

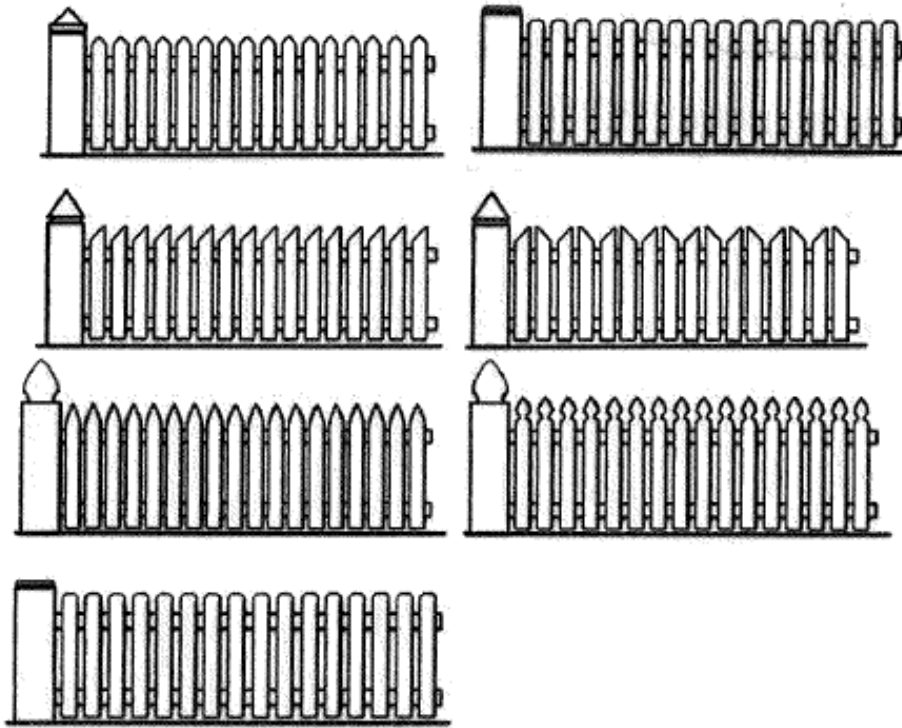
Fence Posts:

- Terminal posts (corners, openings, ends, etc.) shall be fatter and taller than typical posts.
- Two terminal posts immediately adjacent to each other are discouraged. Posts should be spaced evenly along fence runs.
- Runs are to be a maximum of 8 feet long.
- Openings for gates and walks in the front, rear or side of a dwelling are to be a maximum of four (4) feet from post to post. Exception: Properties with steps greater than four (4) wide that lead to the sidewalk may install a double gate. Each gate is to be a maximum of four (4) feet wide.
- Posts at sidewalks must abut the walk (no space between walk and post).
- Spacing between posts and pickets and between individual pickets are to be equal.

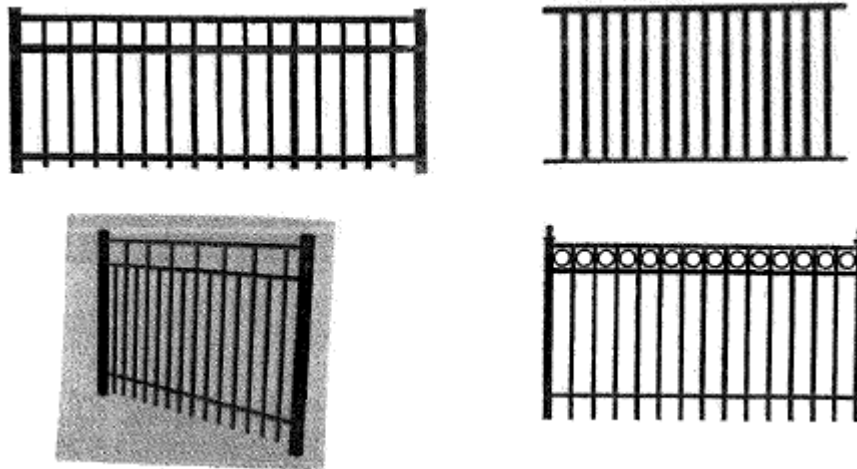
Color/Finishing:

- Wood fences at frontages or that abut Common Area shall be painted white. Wood fences in other locations, i.e. rear yards and side yards that do not abut Common Area, must be finished by painting or staining white, off white, the base color of the main building, or the trim color of the main building.
- Paint or stain of a natural wood color will also be considered. A product such as Thompsons Water-Seal® does not qualify as a paint or stain of natural wood color for purposes of this policy. Metal fences shall be painted black. Vinyl fencing must be white.

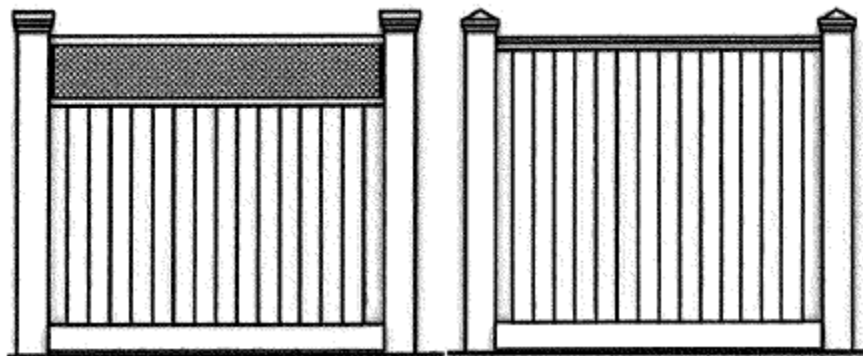
PICKET FENCE



ORNAMENTAL



PRIVACY FENCE



MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- In need of paint or stain (if white) or clear weather protectant (if natural wood tone)
- Broken and falling down.
- Missing sections.
- Replaced, but not treated.
- Posts missing or rotted.
- Wood has splinters.
- Gate damaged or inoperable.
- Gate not properly attached to fence.
- Gate latch broken or missing.

Application Requirements – FENCES

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of fence and gate(s) with length of fence run(s) and size of gate(s).
- Submit drawings(they do not need to be professionally done), photographs or brochure showing fence design, including gates.
- Fence details: Materials, Color, Finish, and Height.
- If attaching to a neighbor's existing fence, written permission or signature.
- Any additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).

21. FIREWOOD

GENERAL

Firewood stored on a lot shall be kept neatly stacked and located to the rear of the residence and in a manner to avoid adverse visual impacts for adjoining properties. Screening may be required in certain cases.

Firewood should be stacked in piles which do not exceed eight (8) feet in length and four (4) feet in height for both aesthetic and safety considerations.

Other than a limited quantity of firewood intended for immediate use, firewood shall not be stacked on patios or decks.

PROHIBITED

Placed in any location other than the rear of a property.

NO APPROVAL REQUIRED

Piles that do not exceed eight (8) feet in length and four (4) feet in height stacked for both aesthetic and safety considerations.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

Stacked in a manner that is not neat or that creates aesthetic or safety concerns.

22. FLAGS/FLAGPOLES

NO APPROVAL REQUIRED

Flagpole staffs that do not exceed six (6) feet in length and are attached at an incline to the wall or pillar

of the dwelling unit.

PROHIBITED

Freestanding flagpoles.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- Torn or damaged flags
- Damaged or bent flagpoles

23. GARAGES

GENERAL

Garages must be used for vehicle parking only.

Garages must not be used for storage to the extent such storage prevents vehicle parking. Garages must not be converted to a home office or residential living space.

Garage doors must remain closed when garage is not in use.

24. GREENHOUSES AND SUNROOMS

GENERAL

Greenhouses and sunrooms will be treated as a major alteration to a dwelling unit and subject to the same level of review as major additions per building codes for the Montgomery County. Only greenhouses and sunrooms that are attached to the dwelling unit are permitted.

APPROVAL REQUIRED

Greenhouses and sunrooms should meet the following additional criteria to be approved:

- The scale and design must be architecturally compatible with the home and surrounding homes.
- There shall be no adverse visual impacts for adjoining properties. The installation of landscape materials to provide a visual screen is encouraged and may be required as a condition of approval.

MAINTENANCE

See General Maintenance of Houses and Existing Structures in Section VI.

Application Requirements – GREENHOUSES AND SUNROOMS

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of proposed structure on site with dimensions.
- Homeowner is responsible for any City, State, and/or Federal permits required.
- See Appendix IX, “TITLE” for additional information that is required. (Photographs would be helpful).

25. GRILLS/ OUTDOOR FIREPLACES

GENERAL

An approved application is required for all permanent grills or fireplaces.

Owners are responsible for determining the location of any easements for utilities, storm drains, or fiber optic cable, which may not be shown on a house location survey.

Permanent grills or fireplaces should not be visible from the street

Temporary (movable) grills must be stored behind house or in the dwelling when not in use.

Application Requirements - GRILLS/ OUTDOOR FIREPLACES

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of proposed structure on site with dimensions.
- Homeowner is responsible for any City, State and/or Federal permits required.
- Any additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).

26. GUTTERS AND DOWNSPOUTS

GENERAL

All gutters, downspouts and downspout drainage extensions must conform in color and design to those originally installed. Gutters, downspouts and downspout drainage extensions must not be located in such a manner as to adversely affect drainage onto neighboring properties.

Landscape piping used for additional drainage purposes must be concealed or buried underground and directed away from adjacent properties.

Rain barrels will be considered on an individual basis.

APPROVAL REQUIRED

Any addition of new gutters or downspouts, or a change in location of an original gutter or downspout. Replacement of gutters and downspouts with those of a different color, design or material.

Any installation of rain barrels. Note: Rain barrels must be placed at side or rear of house.

NO APPROVAL REQUIRED

Splash blocks - black or green plastic or unpainted concrete.

Replacement of gutters and downspouts with those of the same color, design and material.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- Clawing of asphalt shingles and/or extremely bad deterioration
- Rusted
- Not secured to the house - hanging down or missing.
- Missing support brackets.
- In need of paint.
- Removed without DRC approval.
- Leaves and debris visibly hanging out, indicating a blockage.

Application Requirements - GUTTERS AND DOWNSPOUTS

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of change/modifications on site.
- Any additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).
- Homeowner is responsible for any City, State and/or Federal permits required.

27. HOT TUBS/SPAS

GENERAL

Hot tubs and spas must be located in the rear yard.

Visibility and location will be considered along with the impact on adjacent properties for all approvals.

The incorporation of hot tubs as a design feature of a deck or patio is encouraged. The tub or spa must be screened appropriately.

APPROVAL REQUIRED

Exterior hot tubs or spas.

Tubs or spas recessed into decks are preferred over free-standing hot tubs.

REQUIREMENTS:

* Must have a child proof cover!

- Must be located on the ground level in the rear yard adjacent to the dwelling unit or, alternatively, on a properly supported weight bearing load deck.
- Exterior finish of an elevated hot tub or spa should blend with the exterior finish of the home, deck or patio to which attached or most closely related.
- If freestanding, the tub/spa must be enclosed on all sides with natural or synthetic wood. Fences may be treated with a clear preservative stain.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- Faded or bleached out tub
- Siding split, cracked or otherwise in poor condition
- Cover not fit properly
- soft cover caved in

Application Requirements – HOT TUBS/SPAS

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of hot tub/spa
- Submit photograph or brochure showing hot tub/spa design, including dimension and color/finish.
- Any additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).

28. IRRIGATION SYSTEM

An approved application is not required for an irrigation system.

Irrigation systems must not be installed in any easement areas.

29. LANDSCAPING

GENERAL

The developer of Cabin Branch installed basic landscapes consisting primarily of turf (grass, sod), mulch, and some shrubs & trees. This minimum standard is not intended to restrict a homeowner from upgrading or enhancing their landscape so long as it is within generally accepted guidelines as outlined below.

Broad ranges of options are available, and the DRC is constantly open to new ideas given the ever-changing availability of new landscape products & designs.

For purposes of this section, the front yard is defined as the area between the front facade of the home and

the front boundary line, including all area not directly in front of the structure.

The side yard is defined as the area between the side façade of the home and the side boundary line, from the front corner of the structure to the rear corner.

The rear yard is defined as the area between the rear façade of the home and the rear boundary line, including all area not directly behind the structure.

Planting of any tree requires DRC approval. In general, trees must be planted three (3) feet to five (5) feet inside the applicant's property line. Based on the species of tree, evaluated by the DRC during the application process, the setback will be included in the DRC's decision letter to the homeowner.

Cabin Branch has designated Forest Conservation Areas, including Landscaping, Plantings and Street Trees.

As such, no trees shall be removed from within the Community, except for diseased or dead trees and trees requiring removal for safety reasons. Approval of the DCR is required and in some cases required by Montgomery County.

NO APPROVAL REQUIRED

Plantings (e.g., annuals or perennial flowers, etc.) in existing beds.

Installation of new beds less than four (4) feet wide around the perimeter of the house foundation (and deck, patio, or fence if present) and perimeter of the rear of the lot, provided the plants (annuals and perennials) installed have a mature height of less than eight (8) feet.

Installation of new beds less than three (3) feet wide adjacent to walks from the driveway to the front stoop, provided the plants have a mature height of less than three (3) feet.

Installation of black plastic edging or green metal edging around existing or approved beds, provided that it is installed to be no higher than two (2) inches above grade.

Installation of flower gardens, provided that they are located in the rear yard; are not more than one-sixth (1/6) of the rear yard in size; and do not create an annoyance to neighboring properties in terms of adverse offending odors, overgrowth of plantings or unsightliness. No offending odors should be created as a result of any garden. During winter, soil should be turned over.

Replacement of dead or damaged shrubs with similar type plant materials.

Flowerpots, hanging baskets, etc. located within owner's property that is not a hazard to pedestrian foot traffic on the property.

Use of landscape rocks, marble chips, stone in the immediate area beneath downspouts or side yard air conditioning units.

APPROVAL REQUIRED

All new landscaping that exceeds the size restrictions detailed under the "No Approval Required" section above. All new landscaping that would cause the total amount of landscaped area to exceed the size restrictions detailed above.

Removal of original grass and replacement with some other type of ground cover, (this will be considered for limited areas; on steep slopes, for example).

Planting of trees and shrubs in the yard should be selected carefully so that when fully grown they will be appropriate in height and width for their location in the yard.

Use of landscape timbers. Landscape timbers should not define the individual front yards, side yards,

walkways, or property lines. Timbers may be used in rear yards to line flower beds, or to aid in preventing soil erosion.

Retaining walls.

Any modification that requires construction including garden structures such as trellises, arbors, gazebos, etc., or results in a grade change.

Plantings in the easements or alleyways. Easement/alleyway plantings should conform to the community's Landscape Plan. In general, these plants cannot exceed 3 feet in height so that visibility is not impaired.

Hardscape material will be considered on an individual basis. Hardscape material should not exceed 6 inches above grade.

Topography is being altered.

Installing a paved or other hardscape surface.

Use of landscape rocks, marble chips (including white rocks), stone, except for the immediate area beneath gutter downspouts or side yard air conditioning units.

PROHIBITED

The planting of bamboo stalks or kudzu will not be approved as these particular plants have fast-growing roots which can spread onto adjoining properties, and are very difficult to remove once the roots are established.

Trees planted in the easement in alleyways.

Rebar, metal stakes, and reflector posts of any material.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- Plant refuse and stakes left at the end of the growing season.
- Trees branches grown to an inappropriate height or breadth for their location.
- Dead trees, shrubs and other plants in yard.
- Trees in need of pruning, root removal and possible entire tree removal, if necessary.
- Fruit and vegetables left to decay on the ground.
- All homeowners are responsible for all the trees on their property for preventive maintenance, such as pruning, root removal, and possible entire tree removal if necessary.

Application Requirements – LANDSCAPING

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of landscaping modifications on site.
- Landscaping plan drawing with plants and other materials indicated.
- If new landscaping beds exceed the size restrictions detailed under the No Approval Required section, include size and location.
- Any additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).
- Homeowner is responsible for any City, State and/or Federal permits required.

30. LAWN FURNITURE

APPROVAL REQUIRED

Permanent, built-in benches and all lawn furniture in the front yard (except on the front porch).

NO APPROVAL REQUIRED

Patio furniture, lawn furniture, picnic furniture and umbrellas are permitted on decks, and patios in the rear yard only and on front porch.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- Unsafe/not structurally sound e.g. rotting wood.
- Poor repair e.g. chipped/peeling paint, weather beaten, covered with mold/mildew.
- Broken or missing pieces.

Application Requirements – LAWN FURNITURE

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of lawn furniture on site.
- Photograph or catalog brochure, showing lawn furniture.
- Any additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).

31. PATIOS

GENERAL

Patios should be built in rear yards. Homeowner is responsible for any County, State and/or Federal permits required.

Materials allowed are reinforced concrete, concrete pavers, stained and stamped concrete, flagstone or brick. If brick or flagstone is used, a sturdy wooden barrier must surround the perimeter of the patio unless the brick is at ground level.

The patio must not be located forward of the rear foundation wall and must not extend past the side of the house, except those patios will be allowed within the courtyards of lots served by rear loaded driveways with access through private alleys.

Wood patio structures are considered decks and must follow Guidelines for deck construction as set forth herein.

APPROVAL REQUIRED

ALL patios require approval.

Note: Any adverse drainage requirements that might result from the construction of a patio should be considered and remedied. The use of a partially porous patio surface or the installations of mulch beds adjacent to the patio are ways to eliminate drainage concerns.

MAINTENANCE

Patio maintenance problems may be cited for violation - including patios in disrepair, deteriorating/cracked/crumbling, unsafe surfaces. These are not to be viewed as all-inclusive.

Application Requirements – PATIOS

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of Patio on site with dimensions.
- Scaled drawing showing plan (overhead view) and dimensions including length and width.
- Sketch(es) showing details: materials, color/finish, pattern.
- Sketch(es) of any additional design features, like walkway, stairs, seating walls and/or planters.
- Submit drawings with application (they do not need to be professionally done).
- Any additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).
- You are responsible for any City, State and/or Federal permits required.

32. RECREATION AND PLAY EQUIPMENT

GENERAL

Recreation and play equipment must be placed in the rear yard and compatible with the lot size.

Play equipment such as bikes, wagons, skateboards, etc. are not allowed to remain overnight within any driveway, front yard, or side yard..

PROHIBITED

Semi-permanent play equipment in front yards.

Installing play equipment beyond the sightlines of the house or garage.

APPROVAL REQUIRED

ALL play equipment that constitutes a standalone structure requires approval.

Examples include sandboxes, play-houses, swing-sets, etc.

The following factors will be considered in the review of applications:

Location:

- Play structures are restricted to the rear yard and, to the extent possible, must be placed on the inside of the imaginary parallel lines from the side planes of the house to the rear lot line.
- Play structures must not be installed within an easement area.
- All swings, slides and awnings must be a dark or neutral color. No flags on the top of the play set will be allowed.
- The equipment should be generally compatible with the lot size. The design and any visual screening are additional considerations in evaluating whether there will be an adverse visual impact.

Color and Materials:

- Equipment constructed of wood or wood composite, and left in a natural condition to weather is encouraged to blend with the natural environment. Alternative materials will be considered on an individual basis.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- Not painted a solid earth tone (i.e. brown, tan, dark green).
- Rusted.
- Poorly maintained - in need of paint, stain or repair.

Application Requirements - RECREATION AND PLAY EQUIPMENT

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of equipment on site with dimensions.
- Submit copy of plat with application showing location, style and material to be used.
- See Appendix VII for additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).

33. RETAINING WALLS

GENERAL

A retaining wall is a structure that holds back soil or rock from a building structure or landscape area. Retaining walls prevent down slope movement or erosion, and provide support for vertical or near-vertical grade changes. Because lateral earth pressure behind the wall is considered significant when a retaining wall exceeds a certain height, most municipalities require a building permit when the retaining wall height exceeds 3 or 4 feet.

APPROVAL REQUIRED

ALL retaining walls regardless of height.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- Loose or cracked wood or stones.
- Not maintained at original conditions.
- Rotted wood
- Unapproved, unsafely, constructed walls.

Application Requirements – RETAINING WALLS

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of retaining wall on site with dimensions.
- Submit a copy of plat with application showing location, style, and material to be used.
- See Appendix VII for additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).

34. ROOFS

GENERAL

All roofs (i.e., asphalt and metal shingles) must conform in color and design to those originally installed.

NO APPROVAL REQUIRED

Replacement shingles with the same color, design and material.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- Shingles missing.
- Clawing of asphalt shingles and/or extremely bad deterioration.
- Discoloration.

35. SECURITY BARS

GENERAL

Homeowners concerned about the security of their residence are advised to consider alternatives, including alarms and sophisticated lock systems. Charlie bars are not considered to be security bars.

PROHIBITED

Security bars or grates on outside of windows and doors.

36. SHUTTERS

GENERAL

Shutters style shall be compatible with the color scheme and architecture of the dwelling.

APPROVED REQUIRED

TO CHANGE THE COLOR OR STYLE FROM THE ORIGINAL SHUTTERS

NO APPROVAL REQUIRED

If replacement shutters are identical to the original shutter style, size and color.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- Broken or missing slats or shutter dogs.
- Hanging or not securely attached.
- In need of paint.
- Original replaced with non-conforming style/size.
- Missing shutters.
- All shutters intentionally removed.

Application Requirements – SHUTTERS

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of shutter details on style, size, and color.
- Any additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).

37. SIGNS

GENERAL

All signs must comply with Federal/State and Local laws. House numbers must have no missing numbers, be free of rust, and clearly visible from the street.

PROHIBITED

All signs that don't meet the criteria listed below are prohibited including, but not limited to, commercial and home office advertisements.

NO APPROVAL REQUIRED

Real Estate Signs:

- Only one real estate sign, not to exceed four(4) square feet in area, advertising a property for sale or rent may be displayed on a lot.
- Signs may only be placed in the front yard of available properties. Such signs must be removed within one week following the sale or rental of a home.

Security Signs:

- Two security signs, each not exceeding a total of sixty-four (64) square inches may be posted on the property.
- Only one such sign may be posted forward of the front plane of the home. The approved location shall be near the front door. A second sign may be posted in the rear yard.

Political Signs:

- From Cabin Branch Declaration page 22 8.02 (h)
- The display of a candidate sign or a sign that advertises the support or defeat of any question submitted to the voters, as such terms are defined and set forth in §11B-111.2 of the Real Property Article, Annotated Code of Maryland (as amended from time to time), is restricted:
 - In accordance with provisions of Federal, State, and local law; and
 - Unless otherwise specified by the laws of Montgomery County or other applicable law, for a time period which is in excess of (a) thirty (30) days before the primary election, general election, or vote on the proposition; and (b) seven (7) days after the primary election, general election or vote on the proposition.

All other signs are generally prohibited.

38. SKYLIGHTS

GENERAL

Consideration will be given to skylights on the front side of the roof ridgeline only if constructed flush with the roof.

APPROVAL REQUIRED

To install new skylights and any changes to approved skylights.

NO APPROVAL REQUIRED

To install replacement skylights with the same design and dimensions.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- Use of corrugated fiberglass panels.
- Color other than clear, opaque, tinted bronze or tinted smoke gray.
- Trim that doesn't match roof color.

Application Requirements – SKYLIGHTS

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of
- Photograph or catalog brochure, showing style and size.
- Any additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).

39. SOLAR ENERGY PANELS/WIND ENERGY

GENERAL

Cabin Branch is committed to "pro-green" energy solutions such as solar (photovoltaic [PV]) that help reduce air pollution and harmonize well with our community design. Advances in solar panel and wind turbine systems (for home electricity generation) are rapidly developing, as well as principle standards embodied in state legislation and Federal law. However, due to the close proximity of Cabin Branch homes, wind turbines are not allowed.

PROHIBITED

Freestanding Solar Panels
Wind turbines

APPROVAL REQUIRED

All Solar Panels must be reviewed by the DRC.

MAINTENANCE

Solar panels and related accessories should be kept clean, repaired of cracks, and checked for secure fastening to the roof or other anchor support.

Application Requirements – SOLAR PANELS

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of Solar Panels on site with dimensions.
- Sample of illustrated brochure of the proposed solar unit, which clearly depicts the unit and defines the materials used.
- Construction drawings to show the location, number of collectors, attachment and location of any other exterior system components.
- Any additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).

40. STORAGE SHEDS

GENERAL

The architectural design of a shed should be compatible with the design of the home. Sheds should not exceed 64 square feet of floor space and 9' high at the highest point.

Sheds must be located in the rear yard and to the extent possible be placed inside of the imaginary line extending from the side plane of the house. Sheds must be situated to least impact neighbors and surrounding community. Only one (1) shed per Lot will be approved.

APPROVAL REQUIRED

All necessary permits, inspections, etc. must be obtained from the Montgomery County and submitted with approval request to the DRC

REQUIREMENTS:

Should be compatible with the design of the home.

The finish materials must wood, vinyl, T1-11 type wood. The color scheme must be the same as for the home.

The roof slope and type and color of roofing material should match the house.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as inclusive.

- Rotted structures.
- Holes in siding.
- In need of stain or paint.
- Covered in mold or mildew.
- Precariously angled structures.
- Color scheme different than the house.
- Finish materials different than home.

Application Requirements – STORAGE SHEDS

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of proposed sheds
- Scaled drawing showing plan elevations, and dimensions, including length, width, and height.
- Submit drawings with application (they do not need to be professionally done).
- You are responsible for any City, State and/or Federal permits required.
- See Appendix VII for additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).

41. SWIMMING POOLS

GENERAL

Above Ground swimming pools are prohibited.

Children's wading pools in the rear yards are allowed and do not require an approved Application.

APPROVAL REQUIRED

Approval requires for ALL in ground swimming pools.

MAINTENANCE

Pools must be maintained year round from debris.

Application Requirements – SWIMMING POOLS

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Scaled drawing (overhead view), elevations, and dimensions, including length, width, and height.
- Submit drawings with application.
- Proposed fencing.
- Proposed landscaping and screening plans.
- You are responsible for any City, State, and/or Federal permits required.
- See Appendix VII for additional information that will assist the Committee in making a judgement on the request (photographs would be helpful).

42. TRASH

GENERAL

No burning of any trash and no accumulation or storage of litter, lumber, scrap metals, refuse, bulk materials, waste, new or used building materials, or trash of any other kind shall be permitted on any Lot or other part of the property.

Trash and garbage containers shall not be permitted to remain in public view except on the evenings prior to and the days of trash collection. No garbage or trash containers shall be kept on the front or side yard of any Lot, and garbage and trash containers kept or maintained in the rear yards of any Lots or under or upon decks shall be screened from public view at all times.

No incinerator shall be kept or maintained upon any Lot.

43. VEGETABLE GARDENS

GENERAL

Vegetable gardens must be placed in the rear yard and, to the extent possible, must be placed inside the side plans of the house, to the lot border, and be inconspicuous from the street. Vegetable gardens must be

no larger than 64 square feet in size.

Vegetable gardens must be maintained in a neat and attractive manner at all times and immediately cleaned up when the growing season ends.

Black vinyl-coated wire fence, no more than 4 feet in height, may be used but must be removed when the growing season ends.

APPROVAL REQUIRED

For all Vegetable gardens.

Application Requirements – VEGETABLE GARDEN

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of vegetable garden on site with dimensions.

44. WALKWAYS

GENERAL

Walkways may be made of brick, flagstone, concrete pavers, or stained and stamped concrete.

PROHIBITED

Walkways made of wood decking.

APPROVAL REQUIRED

ALL walkways require approval.

Note: Any adverse drainage requirements that might result from the construction of a walkway should be considered and remedied.

MAINTENANCE

Walkway maintenance problems may be cited for violation - including walkways in disrepair, deteriorating/cracked/crumbling, unsafe surfaces. These are not to be viewed as all-inclusive.

Application Requirements – WALKWAYS

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of Walkway on site with dimensions.
- Scaled drawing showing plan (overhead view) and dimensions, including length and width.
- Sketch(es) showing details, materials, color/finish, pattern.
- Submit drawings with application (they do not have to be professionally done).
- Any additional information that will assist the Committee in making a judgment on the request (photographs would be helpful).

45. WATER FEATURES

GENERAL

Water features must be installed in rear yard.

APPROVAL REQUIRED

MAINTENANCE

Application Requirements – WATER FEATURE

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of Water Feature on site with dimensions.
- Scaled drawing showing plan (overhead view) and dimensions, including length and width.
- Submit drawings with application.
- Any additional information that will assist the Committee in making a judgment on the request (photographs would be helpful).

46. WINDOWS

GENERAL

The size of the window trim and frame must match that of the other windows on the same property as closely as possible.

Window mullions must be retained or replaced when replacing windows. Window dividers (mullions) installed in original windows must be retained.

PROHIBITED

To change the color, size or materials of the window frame or trim.

NO APPROVAL REQUIRED

If matching the existing house windows with same size of window trim, color and frame. When replaced with materials, glass, trim, and frame which match the existing windows.

MAINTENANCE

The following kinds of maintenance problems may be cited for violation. They are not to be viewed as all-inclusive.

- Broken or missing panes of glass; missing mullions.
- Tom screens.
- Deteriorated window frames.
- Loose or not firmly attached doors.
- In need of paint.

47. WINDOW BOXES

GENERAL

APPROVAL REQUIRED

MAINTENANCE

Application Requirements – WINDOW BOXES

- Submit completed Architectural Change Application form, available from the Association website and/or community management company.
- Copy of plat showing proposed location of Window Boxes on site with dimensions.
- Scaled drawing showing plan and dimensions, including length and width.
- Sketch(es) showing details, materials, color.
- Submit drawings with application.
- Any additional information that will assist the Committee in making a judgment on the request (photographs would be helpful).

48. MISCELLANEOUS

PROHIBITED

The following are prohibited at **frontages or the front half of the interior side yards**:

- Air conditioning equipment
- Hot tubs and spas
- Garbage cans
- Rock gardens
- Recreation and play equipment
- Utility meters (unless installed by the Builder during Initial construction)
- Grills
- Vegetable gardens

APPENDIX I

CABIN BRANCH HOMEOWNERS' GUIDELINES FOR EXTERIOR ADDITIONS/MODIFICATIONS

Architectural Change Applications for additions or modifications (examples: porches, room additions or expansions) must include detailed information when submitted to the Design Review Committee (DRC) for consideration. Keep in mind that the Committee and/or the Town Architect must have sufficient information to determine what the completed installation or construction will look like and how it relates to its surroundings.

SUPPORTING DOCUMENTATION REQUIREMENTS

- Standard Architectural Change Application form must be completed
- Copy of survey showing location of the structure or installation on site
- Front and side architectural elevations and plan views with dimensions showing the structure on the home. These must be drawn to scale showing proportions and relationship to existing house.

Such architectural plans or blueprints must include (if available):

1. length, width, and height measurements throughout
 2. size of materials to be used as trim
 3. size of corner boards
 4. size of cap plates covering wood beams
 5. size and construction of concrete base
 6. size of doors and windows, materials used
 7. size of trim around windows and doors
 8. measurements of gutter boards, and board & batten
 9. dimensions of roof overhang
 10. dimensions on all exterior materials shown on plans with details for roof overhangs
 11. finish/color (all rim must be identified and its color specified) roof plans, pitch of roof, materials used and color
 12. step risers and treads
- Any other information necessary to assist the DRC in making a judgment on the request (photographs would be helpful).
 - A meeting with the DRC and your contractor/architect may be required.
 - You are responsible for any City, State and /or Federal permits required.

APPENDIX II

RULES FOR INSTALLATION OF ANTENNAS

I. Definitions

- A. Antenna - any device used for the receipt of video programming services, including direct broadcast satellite (DBS), television broadcast, and multipoint distribution service (MOS). A reception antenna that has limited transmission capability designed for the view to select or use video programming is a reception antenna provided that it meets FCC standards for radio frequency omission. A mast, cabling, supports, guy wires, conduits, wiring, fasteners, or other accessories necessary for the proper installation, maintenance, and use of a reception antenna shall be considered part of the antenna.
- B. Mast - structure to which an antenna is attached that raises the antenna height.
- C. Transmission-only antenna - any antenna used solely to transmit radio, television, cellular, or other signals.
- D. Owner - the record title holder of any Lot within the Community, whether one or more persons or entities. The term "Owner" excludes those having an interest in a Lot merely as security for the performance of an obligation. For the purpose of this rule only, "Owner" includes a tenant who has the written permission of the Lot Owner/landlord to install antennas.
- E. Telecommunications signal - signals received by DBS, television broadcast, and MCS antennas.
- F. All other capitalized terms use in these Rules for Installation of Antennas, unless otherwise defined herein, have the meanings specified for such terms in the Cabin Branch Declaration

II. Installation Rules

A. Antenna Size and Type

- 1. DBS antennas that are one meter or less in diameter may be installed. DBS antennas larger than one meter are prohibited.
- 2. MDS antennas that are one meter or less in diameter may be installed. MDS antennas larger than one meter are prohibited.
- 3. Antennas designed to receive television broadcast signals, regardless of size, may be installed
- 4. Installation of transmission-only antennas is prohibited unless approved by the Association's Design Review Entity.
- 5. All antennas not covered by the FCC Rule are prohibited.

B. Location

- 1. Antennas shall be installed solely within such Owner's Lot, and shall not be installed on Common Area.
- 2. If acceptable quality signals can be received by placing antennas inside a home, without unreasonable delay or unreasonable cost increase, then outdoor installation may be prohibited.
- 3. Antennas shall not encroach upon Common Area or any other Owner's Lot.

4. To the maximum extent possible, antennas shall be located in a place shielded from public view and from the view of other Owners; provided, however, that nothing in this rule would require installation in a location from which an acceptable quality signal cannot be received from the Owner's Lot (The Board of Directors may expand this rule to state which locations are the most preferred for antenna installation, followed by less favorable, and so on.)

C. Installation

1. Antennas shall be no larger nor installed higher than is absolutely necessary for reception for an acceptable quality signal.
2. All installation shall be completed so that no damage is done to the Common Area or the property of any other Owner, or void any warranties of the Association or other Owners, or in any way impair the integrity of buildings on Common Area or property.
3. Antennas must be secured so that they do not jeopardize the soundness of safety of any other Owner's property or the safety of any person at or near the antennas, including damage from wind velocity based upon a unique location.

D. Maintenance

1. Owners shall be responsible for antenna maintenance and repair.
2. Owners are responsible for all cost associate with the antenna including, but not limited to, cost to:
 - a. Place (or replace), repair, maintain, and move or remove antennas;
 - b. Repair damages to the Common Area, other Owner's property, and any other property damaged by antenna installation, maintenance or use;
 - c. Pay medical expenses incurred by persons injured by antenna installation, maintenance, or use; and
 - d. Reimburse residents or the Association for damages caused by antenna installation, maintenance, or use.
3. Owners shall not permit their antennas to fall into disrepair or to become a safety hazard.
4. Owners shall be responsible for antenna repainting or replacement if the exterior surface of the antenna deteriorates.

E. Safety

1. Antennas shall be installed and secured in a manner that complies with all applicable county and state laws and regulations, and manufacturer's instructions. The Owner, prior to installation, shall provide the Association with a copy of any applicable governmental permits.
2. Antennas shall be placed within a safe distance from electrical and other utility lines and apparatus (above-ground or buried) and in no event shall antennas be placed where they may come into contact with such utility lines and apparatus. The purpose of this requirement is to prevent injury or damage from contact with such utility lines and apparatus.
3. All installations must comply with all applicable codes.

4. In order to prevent electrical and fire damage, the antennas shall be permanently and effectively grounded.
5. Antennas are required to withstand wind gusts up to 80 mph, and shall be designed to withstand the pressure of snow and ice.

III. Antenna Camouflaging

- A. Antenna or masts may not extend beyond a railing or fence unless no acceptable quality signal may be received from such location.
- B. Antennas situated on the ground and visible from the street or from other Lots must be camouflaged by existing landscaping or fencing, if an acceptable quality signal may be received from such placement. If no such existing landscaping or screening exists, the Association may require antennas to be screened by new landscaping or screening of reasonable cost. (Camouflaging antennas may not be unreasonably expensive. The Association may require more expensive screening, if the Association chooses to fund part of the cost.)
- C. Antennas, masts, and any visible wiring must be painted to match the color of the structure to which it is installed, unless such paint will degrade the signal.
- D. Antennas may not obstruct a driver's view of an intersection or street.

IV. Number of Antenna

No more than one antenna for each type of service may be installed by an Owner.

V. Mast Installation

- A. Mast height may be no higher than absolutely necessary to receive acceptable quality signals.
- B. Masts that extend 12 feet or less beyond the roofline may be installed subject to the regular notification process (see below). Mast that extends more than 12 feet above the roofline must be approved by the Design Review Committee before installation due to safety concerns posed by wind loads and the risk of falling antennas and mast. Any application for a mast longer than 12 feet must include a detailed description of the structure and anchorage of the antenna and the mast, as well as an explanation of the necessity for a mast higher than 12 feet. If this installation will pose a safety hazard to residents and personnel of the Association, then the Association may prohibit such installation. The notice of rejection shall specify the safety risk, (This 12-foot baseline may change, if the BOCA Code is amended.)
- C. Masts must be installed by licensed and insured contractors.
- D. Masts must be painted the appropriate color to match their surroundings.
- E. Masts installed on a roof shall not be installed nearer to the lot line than the total height of the mast and antenna structures above the roof. The purpose of this regulation is to protect persons and property that would be damaged if the mast were to fall during a storm or from other causes.
- F. Masts must not be installed nearer to electric power lines than the total height of the mast and antenna structure above the roof. The purpose of this regulation is to avoid damage to electric power lines if the mast should fall in a storm.
- G. Masts shall not encroach upon another Owner's property or Common Area.
- H. Masts installed on the ground are required to withstand wind gust up to 80 mph.

I. Masts must be designed to withstand the weight of ice and snow.

VI. Antenna Removal

Antenna removal requires restoration of the installation location to its original condition. Owners shall be responsible for all costs relating to restoration of this location.

VII. Association Maintenance of Locations Upon Which Antennas are Installed

- A. If an antenna is installed on property for which the Association has maintenance responsibility, the Owner who installed such antenna shall retain responsibility for such antenna maintenance. Owners shall not install antennas in a manner that will result in increased maintenance costs for the Association or for other Residents. If an antenna is installed in a manner that results in increased maintenance costs for the Association or for other Residents, the Owner responsible for such antenna shall be liable for such increased costs.
- B. If Association maintenance requires the temporary removal of antennas, the Association shall provide Owners with 10 days written notice. Owners shall be responsible for removing or relocating antennas before maintenance begins and replacing antennas afterward. If an Owner does not remove his or her antenna by the required time, then the Association may do so, at the Owner's expense. The Association is not liable for any damage to the antenna caused by the Association's removal of the same.

VIII. Notification Process

- A. Any owner desiring to install an antenna must complete a notification form and submit it to the Design Review Committee. If the installation is routine (i.e., the installation conforms to all of the above rules and restrictions), the installation may begin immediately.
- B. If the installation is other than routine for any reason, the Owner and the Design Review Committee must establish a mutually convenient time to meet to discuss

IX. Installation by Tenants

These Rules shall apply in all respects to tenants. A tenant desiring to install an antenna(s) shall obtain prior written permission from the Owner of the property. A copy of such written permission must be finished with the notification statement.

X. Enforcement

- A. If these rules are violated, the Association may bring an action for declaratory relief with the FCC or any court of competent jurisdiction after notice and an opportunity to be heard have been afforded to the Owner. If the court of FCC determines that the Association rule is enforceable, the Association shall impose a fine of \$50 for each violation. If the violation is not corrected within a reasonable length of time, additional fines of \$10 per day will be imposed for each day that the violation continues. To the extent permitted by law and/or the Governing Documents, the Association shall be entitled to reasonable attorney fees, costs, and expenses incurred in the enforcement of this policy.
- B. If antenna installation poses a serious, immediate safety hazard, the Association may seek injunctive relief to prohibit the installation or seek removal of the installation.

XI. Severability

The provision of these Rules for Installation of Antennas are severable and the invalidity of one or more of the provision shall not affect the validity or enforceability of any other provisions.

CABIN BRANCH HOMEOWNERS ASSOCIATION

Notice of Intent to Install Antenna

(To be submitted for the (Community Founder/Design Review Committee) by the Owner)

Unit/Homeowner(s): _____

Address: _____

If rented, tenant's name *(Attach copy of owner's written permission)*: _____

Telephone (Day): _____ Telephone (Evening): _____

Type of Antenna: _____

Direct broadcast satellite _____ 18-inch _____ other _____ size _____
Television broadcast _____
Multipoint distribution service _____ size _____

Company Performing Installation _____

Identify Installation Location:

- Porch
- Rear deck
- Balcony
- Other
- Indicate Other: _____

Date installation performed: _____

Please indicate the method of installation.

Will the installation be in compliance with all Association guidelines (which include manufacturers' guidelines and applicable building codes)? Yes _____ No _____

If no, please provide three days and times for which you are available to meet with us to discuss antenna installation. At this meeting, you will need to provide information supporting the necessity for nonroutine installation. (A list of preferable days and times is attached).

Is a mast necessary for reception? Yes _____ No _____

If yes, is the mast required to extend more than 12 feet above the roofline or extend to a height greater than the distance from the installation to the lot line? Yes _____ No _____

I will comply with all the Association's rules for installing, maintaining, and using antennas. I assume liability for any damage to Association and other Owner's property that occurs due to antenna's installation, maintenance, and use.

Signed: _____ Date: _____

CABIN BRANCH HOMEOWNERS ASSOCIATION

Notification Form for Installation of Oversized Masts

(To be submitted for the (Community Founder/Design Review Committee) by the Owner)

Is the mast extending more than 12 feet above the roofline required for your antenna?

- Yes
- No

Is the mast extending higher than the distance from the installation to the lot line?

- Yes
- No

If you responded “yes” to either question, please provide your reasons why such a mast is necessary. Include a detailed drawing of the installation plan, including:

- Description of the antenna and mast
- Exact location of the mast and antenna installation
- Description of the manner and method of installation
- Total height of the mast and the height it will extend beyond the roofline *(include an explanation of why the mast must extend to this height).*
- Manufacturer specifications regarding the installation of the mast

Please provide a copy of the certificate of insurance of the contractor installing the antenna and the mast.

Also indicate a date and time that would be convenient for you to meet with the Community Founder/Design Review Committee. *(A list of preferable days and times is attached).*

I will comply with all of the Association’s rules for installing, maintaining, and using antenna masts. I assume liability for any damage to Association or other Owner’s property that occurs due to mast installation, maintenance, and use.

Signed: _____

Date: _____

Address: _____

Phone: (Day) _____ (Evening) _____